

**Office of the Director
General of Police**

Commandant General, Home
Guards & Director of Civil Defence
and Director General Karnataka
State Fire & Emergency Services
No. 1, Annaswamy Mudaliar Road
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KARNATAKA STATE FIRE & EMERGENCY SERVICES

NO OBJECTION CERTIFICATE

No. KSFES/GBC(1)/402

Docket No. KSFES/NOC/305/2021

Dated : 03/01/2022 15:15

To,

The Member Secretary,
Hoskote Planning Authority,
No. 2241,
J.C Circle,
K.R.Road,
Bangalore Rural District,
Hoskote - 562114.

Sir

Sub : Issue of No Objection Certificate for the construction of Residential building at Sy. Nos. 9/1, 9/2 & 129/3 of Yalachanayakanapura, Doddahullur Village, Kasaba Hobli, , Hosakote, BANGALORE RURAL - 562114

Ref:

1. Letter dated 03/12/2021 of the Authorized Signatory, M/s. Sowparnika Projects & Infrastructure Pvt. Ltd., # 750, 1st Main Road, C-Block, AECS Layout, Kundalahalli,, Bangalore East, BANGALORE - 560037

With reference to the letter of the M/s. Sowparnika Projects & Infrastructure Pvt. Ltd., # 750, 1st Main Road, C-Block, AECS Layout, Kundalahalli,, Bangalore East, BANGALORE - 560037 cited above, the Regional Fire Officer, CFO - Bangalore East Zone of this department has inspected the site of proposed Residential buildings at Sy. Nos. 9/1, 9/2 & 129/3 of Yalachanayakanapura, Doddahullur Village, Kasaba Hobli, , Hosakote, BANGALORE RURAL - 562114 on 12/12/2021 06:20 with reference to the drawings furnished by the builder and the details are as follows:

Part-A: General Building requirements.

1 Address of Applicant

Mrs. Meenakshi Ramji,

The Authorised Signatory,

M/s. Sowparnika Projects and
Infrastructure Pvt. Ltd.

No. 750, 1st Main 'C' Block,

AECS Layout, Kundalahalli,



	Bangalore – 560 037
2 Address of the Premises	<u>M/s. Sowparnika Projects and Infrastructure Pvt. Ltd.,</u> Sy. No. 9/1 & 9/2, Yalachanayakanapura Village and Sy. No. 129/3, Doddahullur Village, KasabaHobli, Hoskote Taluk, Bangalore Rural Taluk
3 Number of Buildings	2 Buildings i.e. Building-1 and Building-2.
4 Number of floors	<u>Building-1</u> Common Basement, ground & 10 upper floors. <u>Building-2</u> Common Basement, ground & 12 upper floors.
5 Type of Occupancy Part 4, Fire and Life Safety of Part-IV of NBC of 2016 clause 2.46 Occupancy or Use Group:— The principal occupancy for which a building or a part of a building is used or intended to be used; for the purpose of classification of a building according to the occupancy, an occupancy shall be deemed to include subsidiary occupancies which are contingent upon it. Part 4, Fire and Life Safety of Part-IV of NBC of 2016 clause 3.1.2 classification of residential buildings. 3.1.2 Group A Residential Buildings These shall include any building in which sleeping accommodation is provided for normal residential purposes with or without cooking or dining or both facilities, except any building classified under Group C. Subdivision A-4 Apartment houses — These shall include any building or structure in which living quarters are provided for three or more families, living independently of each other and with independent cooking facilities, for example, apartment houses, mansions and Chawls.	Residential Building(A) Sub Division-A4-Apartment
6 Floor wise details of the occupancy :-	<u>Building-1 & 2</u> <u>Common Basement</u> For parking 324 Cars & Two wheelers, Fire Pump Room & STP.



Basement
Parking & services. (details to be provided)

Building-1Ground floor

For parking 141 Cars & Two wheelers 1
Fire Command Room & 2 Electrical
Rooms.

1st floor to 10th floor

57 flats on each floor x 10 floors = 570
flats.

Building-2Ground floor

For parking 74 Cars, 1 Fire Command
Room & 2 Electrical Rooms.

1st floor to 12th floor

30 flats on each floor x 12 floors = 360
flats.

Total = 930 flats.

Ground floor
Details of occupancy. (details to be provided)

As mentioned above.

Upper floors
No. of flats on each floor. (details to be provided)

As mentioned above.

Terrace floors
Over head tanks, lift Machine room. (details to be provide)

As mentioned above.

Height of the building (In Mtrs)
As per Part 3 Development Control Rules and
General Building Requirements clause 2.10 of NBC
2016

Building, Height of -2.10 Building, Height of — The
vertical distance measured in the case of flat roofs, from
the average level of the ground around and contiguous to
the building or as decided by the Authority to the terrace of
last livable floor of the building adjacent to the external
walls; and in the case of pitched roofs, up to the point
where the external surface of the outer wall intersects the
finished surface of the sloping roof; and in the case of
gables facing the road, the mid-point between the eaves
level and the ridge. Architectural features serving no other
function except that of decoration shall be excluded for the
purpose of measuring heights.

Building-1

34.95mtrs.

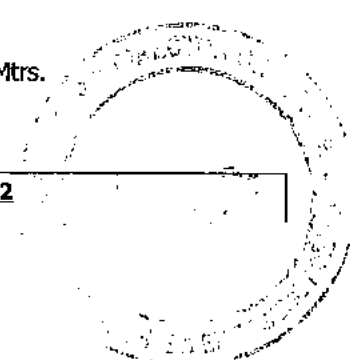
Building-2

39.75mtrs.

Site Area (In Sq.Mtrs)

As per Part 3 Development Control Rules and
General Building Requirements clause 2.75 of NBC
Site (Plot)— A parcel (piece) of land enclosed by
definite boundaries.

21,625.09 Sq.Mtrs.

Building-1 & 2

- 9 Built up area of each floor. (Block wise)(In Sq.Mtrs)

Common Basement

13,324.97 Sq. mtrs.

Building-1

Ground floor

4,679.97 Sq.mtrs.

1st floor to 10th floor

33,832.30 Sq. mtrs.

(3,383.23 Sq. mtrs. on each floor x 10 floors)

Terrace floor

215.65 Sq. mtrs.

Building-2

Ground floor

2,607.00 Sq. mtrs.

1st floor to 12th floor

22,533.12 Sq. mtrs

(1,877.76 Sq. mtrs. on each floor x 12 floors)

Terrace floor

215.65 Sq.mtrs.

- 10 Total Built-up area (In Sq.Mtrs)

77,408.66 Sq.Mtrs.

- 11 Surrounding Properties

Front

East - 30.00 mtrs. wide State Highway-35 (Shidlaghatta Road) Proposed to be widened to 80.00 mtrs.

Rear

West - Private property.

Side 1

North - Private property.

Side 2

South - Private property.

B. Structural details indicating the fire prevention, fire fighting and evacuation measures to be indicated in the drawings

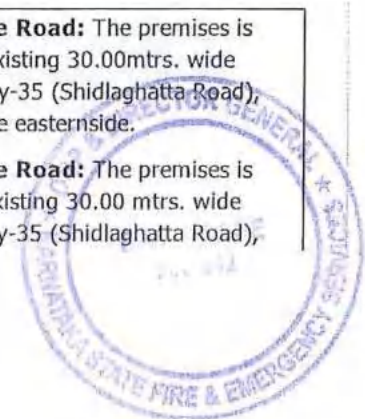
Width of the road to which the building abuts and whether it is hard surfaced to carry the weight of 45000 kgs.

As per Part 3 Development Control Rules and General Building Requirements clause 2.83 of NBC 2016

Street : Any means of access, namely, highway, street, lane, pathway, alley, stairway, passageway, carriageway, footway, square, place or bridge, whether a thoroughfare or not, over which the public have a right of passage or access or have passed and had access uninterruptedly for a specified period, whether existing or proposed

Name of the Road: The premises is abutting to existing 30.00mtrs. wide State Highway-35 (Shidlaghatta Road), located on the eastern side.

Width of the Road: The premises is abutting to existing 30.00 mtrs. wide State Highway-35 (Shidlaghatta Road),



in any scheme, and includes all ponds, ⁵ channels, ditches, storm-water drains, culverts, footpaths, sidewalks, traffic islands, roadside trees and hedges, retaining walls, fences, barriers and railings within the street lines.

located on the eastern side.

Type of Road: Asphalted Road

Is road a Dead end: NO

a. Name of the Road

b. Width of the Road (mtrs)

c. Type of Road(Asphalted or Kaccha road)

d. Is road a Dead end

Number of entrances and width of each entrance to the premises & height clearance over the entrance.

As per Part 3 Development Control Rules and General Building Requirements clause 4.6 (d) of NBC 2016

1) The main entrance to the plot shall be of adequate width to allow easy access to the fire engine and in no case shall it measure less than 6 m.

2) The entrance gate shall fold back against the compound wall of the premises, thus leaving the exterior access way within the plot free for movement of fire tender.

2 3) If the main entrance at the boundary wall is built over, the minimum clearance shall be 4.5 m

As per Part 3 Development Control Rules and General Building Requirements clause 4.6 of NBC 2016

Main entrance width:- One entrance of 9.00mtrs. width with entry & exit from 30.00 mtrs. wide State Highway-35 (Shidlaghatta Road), located on the eastern side.

Is Entrance gate provisioned: YES

Is any Pergola planned: No

a) The width of the main street on which the building abuts shall not be less than 12 m and one end of this street shall join another street not less than 12 m in width.

b) The road shall not terminate in a dead end; except in the case of residential building, up to a height of 30 m

a. Main entrance width (mtrs)

b. Is Entrance gate provisioned

c. Is any Parabola planned

Width of open space (Setbacks)

Width of open space (Setbacks) 24

As per Part 3 Development Control Rules and General Building Requirements of NBC 2016

Clause 2.57 Open Space: — An area, forming an integral part of the plot, left open to the sky. **NOTE** — The open space shall be the minimum distance measured between the front, rear and side of the building and the respective plot boundaries.

2.58 Open Space, Front — An open space across the front of a plot between the building line and front boundary of the plot.



2.59 Open Space, Rear — An open space across the rear of a plot between the rear of the building and the rear boundary of the plot.

2.60 Open Space, Side — An open space across the side of the plot between the side of the building and the side boundary of the plot.

As per Part 3 Development Control Rules and General Building Requirements clause of NBC 2016 Table 4 Side and Rear Open spaces to be left around the Building (Clause 8.2.3.1)

Sl No.	Height of the Building	Side and rear open spaces to be left around the building
1.	10	3
2.	15	5
3.	18	6
4.	21	7
5.	24	8
6.	27	9
7.	30	10
8.	35	11
9.	40	12
10.	45	13
11.	50	14
12.	55	16
13.	70	17
14.	120	18
15.	Above 120	20

NOTES:

1 For buildings above 24 m in height, there shall be a minimum front open space of 6 m.

2. Where rooms do not derive light and ventilation from the exterior open space, the width of such exterior open space as given in col 3 may be reduced by 1 m subject to a minimum of 3 m and a maximum of 8 m. No further projections shall be permitted.

3. If the length or depth of the building exceeds 40 m, add to col (3) ten percent of length or depth of building minus 4.0 m subject to maximum requirement of 20 m.

Height of the Building-1 is 34.95 mtrs.

Setback space required : Min 11.00 mtrs.all around the Building.

Building-1

Front (East):Minimum 12.00mtrs.

Rear (West) :Minimum 30.00mtrs.

Side (North): Minimum 12.00mtrs.

Side (South) :Minimum 12.00mtrs.

Height of the Building-2 is 39.75 mtrs.

Setback space required : Min 12.00 mtrs. all around the Building.

Building-2

Front (East) : Minimum 30.00mtrs.

Rear (West): Minimum 12.00 mtrs.

Side (North): Minimum 12.00 mtrs.

Side (South) :Minimum 12.00 mtrs.

Driveway space left : 8.00 mtrs. all around each Building from each Building line with a turning radius of minimum 9.00 Mtrs. for the easy movement fire vehicles.



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As per Part 3 Development Control Rules and General Building Requirements clause of NBC 2016 Clause 4.6 (C):

- 1) The approach to the building and open spaces on all its sides shall be not less than 6 m in width, and a turning radius of minimum 9 m shall be provided for fire tender movement of fire tenders weighing up to 45 t.
- 2) The same shall be hard surface capable of taking the mass of fire tender, weighing up to 45 t minimum. For heavier fire tenders, the minimum width, turning radius and the hard surface capable of taking the fire tender loads shall be as per the requirement laid down by the Fire Department. The layout for the open space for fire tender movement shall be done in consultation with the Chief Fire Officer of the city, which shall be kept free of obstructions and shall be motorable. The compulsory open spaces around the building shall not be used for parking.
- 3) If the main entrance at the boundary wall is built over, the minimum clearance shall be 4.5 m.

a. Height of the building (mtrs)

b. Setback space left (mtrs)

Note: Any specific claims on relaxation of setback to be notified with necessary supporting documents.

Width of means of access

As per Part 3 Development Control Rules and General Building Requirements of NBC 2016

Clause 4.3 Width of Means of Access

The residential plots shall abut on a public means of access like street/road which is 12mtrs wide.

Plots which do not abut on a street/road shall abut/front on a means of access, the width and other requirements of which shall be as given in Table I.

Table I Width and Length of Means of Access (Clause 4.3)

Sl no.	Width of means access	Length of means access
(1)	(2)	(3)
i.	6.0	75
ii.	7.5	150
iii.	9.0	250
iv.	12.0	400
v.	18.0	1000
vi.	24.0	Above 1000

The premises is directly abutting to 30.00 mtrs. wide State Highway-35 (Shidlaghatta Road), located on the eastern side.

Note: If the development is only on one side of the means

of access, the prescribed widths may be reduced by 1 m in each case.

In no case, development on plots shall be permitted unless it is accessible by a public street of width not less than 6 m.

Street/ Road width (mtrs)

Arrangement for parking the cars and ramps.

Arrangement for parking the cars and ramps. 26

As per Part 3 Development Control Rules and General Building Requirements of NBC 2016

Clause 2.63: Parking Space — An area enclosed or unenclosed, covered or open, sufficient in size to park vehicles, together with a drive-way connecting the parking space with a street or alley and permitting ingress and egress of the vehicles.

Arrangement for parking the cars and ramps and conditions for buildings on podium.

4.6.1 Buildings on Podium

4.6.1.1 Podium is a horizontal projection (platform) extending beyond the building footprint on one or more sides, and may consist of one or more levels (see Fig 8A).

4.6.1.2 Uses permitted Podium may be used for the following purposes:

- a) Parking of vehicles . When used for parking, one WC, two urinals and two wash basins for every 500 cars or part thereof, shall be provided on each podium floor. At least one accessible toilet complying with the requirements given in B-9 shall be provided preferably near the accessible parking. Provision for driver's rest room for non- residential building shall be made.
- b) Fire and building services/utilities in accordance with the provisions of other Parts/ Sections of the Code.
- c) Topmost podium slab which is open to sky maybe landscaped and/or be used as recreational open space; subject to provision of 1.6 m high parapet wall.
- d) Other habitable uses may be allowed by counting it in FAR subject to light, ventilation and fire safety requirements.

Uses proposed in (a) to (c), shall not be counted towards FAR.

4.6.1.3 Requirements

Following requirements shall be satisfied for buildings constructed on podium

- a) A podium may be permitted in a plot of area 1 500 m² or more.
- b) A podium if provided with ramp, may be permitted in



one or more levels, however the total height shall not exceed 30.0 m above ground level.

c) In case a podium is not provided with ramp, but provided with car lift only, the same may also be permitted in one or more levels, however, the total height shall not exceed 9.0 m above ground level.

d) Requirements for ramp for vehicles (see Fig. 8B):

1) One way ramp of clear width of

minimum 3.0 m and two way ramp with clear width of minimum 6.0 m shall be provided for LMV.

2) One way ramp of clear width of

minimum 4.5 m and two way ramp with clear width of minimum 9.0 m shall be provided for LCV.

3) One way ramp of clear width of

minimum 6.0 m and two way ramp with clear width of minimum 12.0 m shall be provided for HMV.

4) Ramp slope shall be maximum 1 in 8.

5) After a 40 m length of continuous ramp, a flat surface of minimum 6.0 m length shall preferably be provided (see Fig. 8B).

6) If podium is accessible to fire tender, minimum 7.5 m wide ramp shall be required for fire engine access with maximum slope of 1 in 10.

c) Podium shall not be permitted in required minimum front open space.

f) Podium, if accessible to fire tender, shall be so designed so as to take the load of fire tender weighing up to 45 t minimum or as per the requirement laid down by the Fire Department.

g) Requirement of accessibility for elders and persons with disabilities shall be ensured in compliance with the provisions of Annex B which may require providing ramps with specified gradient or accessible lifts for access to different levels.

4.6.1.4 Requirements for fire tender movement

a) Buildings having height more than 15 m above ground level shall necessarily be accessible by fire tender, as follows (see Fig. 9A):

1) For buildings having floor area less than 10 000 m², fire tenders shall have access to at least one-third of the perimeter of building which shall be minimum 6.0 m wide and having 9.0 m turning radius.

2) For buildings having floor area more than 10 000 m², fire engine shall have an access to at least to half of the perimeter of building which shall be minimum 6.0 m wide and having 9.0 m turning radius.

Provision has been made to park 324 Cars at common Basement parking area of Building-1 & 2, 141 Cars at ground floor parking area of Building-1, 74 Cars at ground floor parking area of Building-2 and 87 Cars on the open space available all around the Buildings, after leaving 8.00 mtrs. wide driveway from the Building line.

Width of Ramp:- 2 ramps, each of 6.00 mtrs. width.

Type of Ramp; One way.

Gradation:- 1:10

Location of Ramp: Located on the southern side (within Building line).

b) If podium is not accessible by fire tender, the podium may be such that it is not extended beyond the building footprint to an extent more than 11.0 m on the side where fire tender access is provided (see Fig. 9B and Fig. 9C). Such restriction shall not apply in case podium is accessible by fire engine (see Fig. 9D).

c) Minimum 6.0 m driveway width and 9.0 m width at turning shall be available for fire tender movement all around the podium. NOTE: The width and turning radius of ramp for fire tender access, and requirements of motorable open space for fire tender movement given above pertain to fire tender weighing up to 45 t and its operability. For heavier fire tenders, these shall be as per the requirement laid down by the Fire Department [see also 4.6 (c)].

4.7 Cul-de-sacs giving access to plots and extending from 150 m to 275 m in length with an additional turning space at 150 m will be allowed only in residential areas, provided cul-de-sacs would be permissible only on straight roads and further provided the end of cul-de-sacs shall be higher in level than the level of the starting point of such dead end road. The turning space, in this case shall be not less than 81 m² in area, with no dimension less than 9 m.

a. No. of ramps

b. Width of Ramp (mtr)

c. Type of Ramp, Single or double (one way/ two way)

d. Gradation

e. Location of Ramp

Staircases

As per NBC 2016, Part 4, Fire and Life Safety clause 4.4.2.4.3 Staircases,

As mentioned in Part 4, Fire and Life Safety clause 1.2 All buildings, shall have a minimum of two staircases.

The provisions of this Part are applicable to,

- a) all high rise buildings; where any of these buildings have floor area more than 500 m² on any one or more floors;
- 6) Buildings with two basements or more, or with one basement of area more than 500 m² unless otherwise mentioned specifically in the provisions.

The minimum width of tread without nosing shall be 250 mm for staircase of residential buildings. The treads shall be constructed and maintained in a manner to prevent slipping. The maximum height of riser shall be 150 mm. The number of risers shall be limited to 12 per flight. The staircases may be internal staircases or external staircases.

4.4.2.4.3.2 Internal staircases



The internal staircases may be constructed with an external wall, or otherwise, and shall comply with the following:

a) Internal stairs shall be constructed of non-combustible materials throughout, and shall have fire resistant rating of minimum 120 min.

b) A staircase shall not be arranged round a lift shaft.

c) Exits shall not be used as a portion of a supply, return or exhaust air system serving adjoining areas. Any opening(s) shall not be permitted in walls or in doors, separating exits from adjoining areas.

d) No flue chimney, electromechanical equipment, air conditioning units, gas piping or electrical panels shall be allowed in the stairway.

e) Notwithstanding the detailed provision for exits in accordance with 4.2 and 4.3, the following minimum width shall be provided for staircases for respective occupancies:

1) Residential (A-4) : 1.25 m.

f) A handrail shall be provided on one side of the staircase of width less than 1500 mm, and on both sides of the staircase of width 1500mm and more. The projection of handrail(s) in the staircase width shall not be more than 15 mm.

h) The design of staircase shall also take into account the following:

1) The minimum headroom in a passage under the landing of a staircase and under the staircase shall be 2.2 m

6 2) Access to exit staircase shall be through a fire door of a minimum 120 min fire resistance rating.

3) No living space, store or other fire risk shall open directly into staircases.

4) The exit (including staircases) shall be continuous from refuge floors or terrace level, as applicable, to the level of exit discharge.

5) No electrical shafts/air conditioning ducts or gas pipes, etc, shall pass through or open in the staircases.

6) Lifts shall not open in staircase.

7) No combustible material shall be used for decoration/wall panelling in the staircase.

8) Beams/columns and other building features shall not reduce the head room/ width of the staircase.

9) The floor indication board, indicating the location/designated number of staircase, respective floor number and direction to exit discharge shall be placed inside the staircase, on the wall nearest to the fire door. It shall be of size not less than 300 mm x 200 mm (see Fig. 9).

Building-1

06 Staircases.

Building-2

04 staircases.

Floor area

Building-1

3,383.23 Sq. mtrs. per floor.

Building-2

1,877.76 Sq. mtrs. per floor.

Area of Basement

Building-1 & 2

13,324.97 Sq. mtrs..

No. of Basement : One Basement.

Fire Rating 120 min

Stairs around Lift : YES/ NO

Stairs are clear from any other service routings : YES/ NO

No other services is taken inside the stairs : YES/ NO

Fire door rating : 120 min

Fire Signage board : YES/ NO

Staircase terminated at Ground

level:- All the staircases are terminated at ground floor & 10 separate staircases have been proposed to reach the common Basement parking area from ground floor.

10) Individual floors shall be prominently indicated on the wall outside the staircase and facing it.

11) All staircases shall terminate at the level of exit discharge. The access to the basement shall be by a separate staircase.

12) Scissors type staircases shall not be treated as part of exit.

a. No. of Staircases in Blocks/Wings

b. Floor area (sqmt)

c. Area of Basement (sqmt)

d. No. of Basement

e. Thread width (mm)

f. No. of Risers (nos)

g. Fire Rating (min)

h. Stairs around Lift : YES/NO

i. Stairs are clear from any other service routings : YES/NO

j. No other services is taken inside the stairs : YES/NO

k. Staircase width : (mtrs)

l. Staircase head room: (mtrs)

m. Fire door rating : (min)

n. Fire Signage board : YES/NO

o. Staircase terminated at Ground level: YES/NO

EXTERNAL STAIRCASE

4.4.2.4.3.4 External staircases

The external staircases are the staircases provided on the external wall/facade, and shall comply with the following:

- a) External stairs shall always be kept in sound and usable condition.
- b) All external stairs shall be directly connected to the ground.
- c) Entrance to the external stairs shall be separate and remote from the internal staircase.
- d) Where an external staircase is provided, it shall be ensured that the use of it at the time of fire is not prejudiced by smoke and flame from openings (for example, windows, doors) in the external face of the building. Care shall be taken to ensure that no external wall or window opening opens on to or close to an external stair. If such openings exists within 3 m from an external staircase, they shall be protected with fire rated doors/window assemblies with rating of at least 60 min.

e) The external stairs shall be constructed of non-

No external staircases.



combustible materials, and any doorway leading to it shall have minimum 120 mm fire resistance.

f) No external staircase shall be inclined at an angle greater than 45° from the horizontal.

g) External stairs shall have straight flight not less than 1 500 mm wide. h) Handrails, to be provided on both sides, shall be of a height not less than 1 000 mm and not exceeding 1 200 mm. There shall be provisions of balusters with maximum gap of 150 mm.

a. Type of External staircase:

b. Location of External stairs: YES/ NO

c. Fire rating of door (min)

d. Width of stairs: (mtrs)

e. Section & Elevation of stairs:

8 Staircase Size:

Staircase Size

a. Width of the staircases.

As per Clause 4.4.2.4.3.2 of Part 4 Fire and Life Safety of NBC 2016 The following minimum width shall be provided for: Each of 1.35mtrs.

1) Residential (A-4) : 1.25 m

b. Width of treads

As per clause 4.4.2.4.3.1 of Part 4 Fire and Life Safety of NBC 2016: The minimum width of tread without nosing shall be 250 mm for staircase of residential buildings. 300 mm

c. Height of riser

As per clause 4.4.2.4.3.1 of Part 4 Fire and Life Safety of NBC 2016 : The maximum height of riser shall be 150 mm for staircase of residential buildings. 150 mm

d. Number of risers in a flight

As per clause 4.4.2.4.3.1 of Part 4 Fire and Life Safety of NBC 2016: The number of risers shall be limited to 12 per flight. 11 risers per flight.

e. Height of hand rails

As per clause 4.4.2.4.3.2 (f) of Part 4 Fire and Life Safety of NBC 2016: Handrails shall be provided at a height of 1 000 mm to be measured from the base of the middle of the treads to the top of the handrails. 1.00 mtr.
Balusters/railing shall be provided such that the width of staircase does not reduce.

f. Head room clearance

As per Part 3 Development Control Rules and General Building Requirements clause 2.70 of NBC 2016